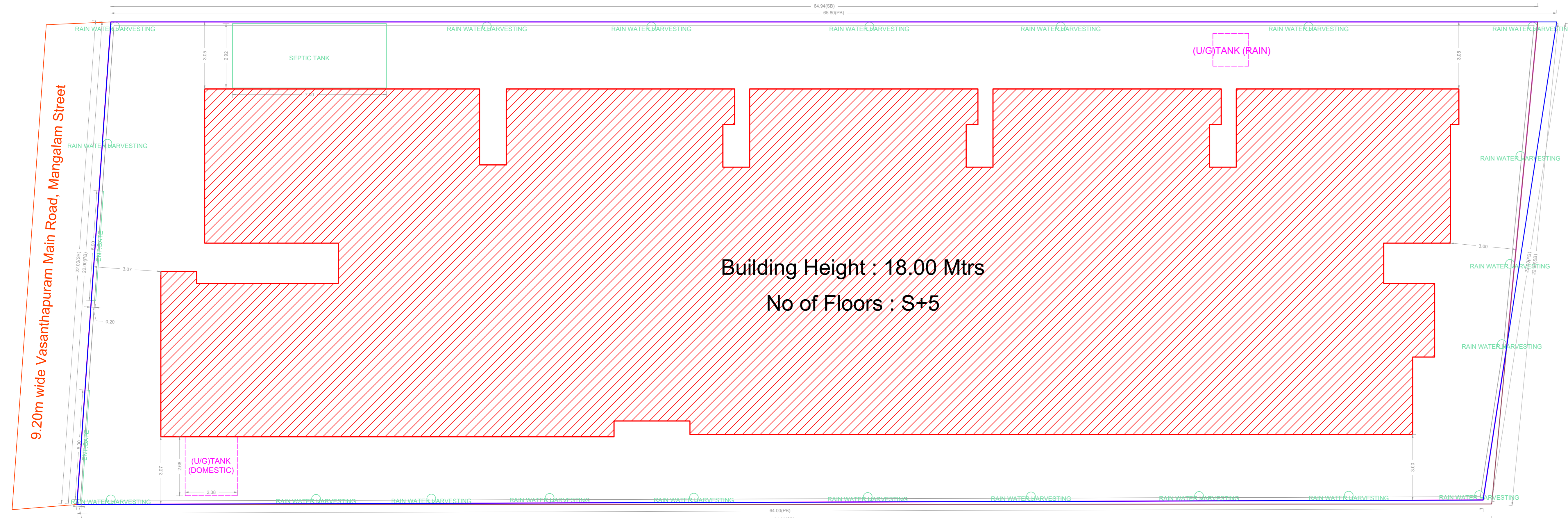
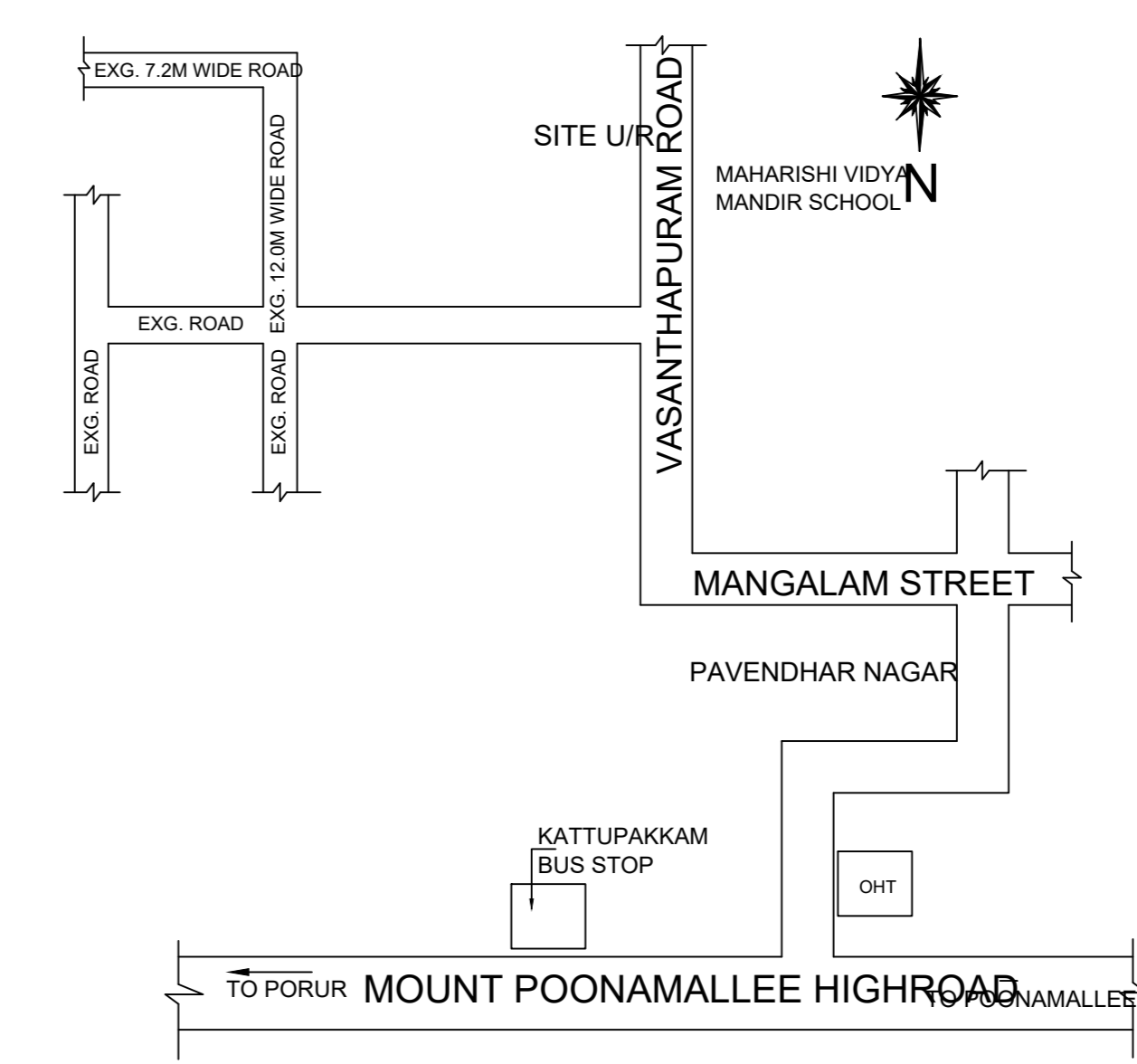


PLAN SHOWING THE PROPOSED CONSTRUCTION OF STILT FLOOR + 4 FLOORS + 5TH FLOOR PART (RESIDENCE & GYM) RESIDENTIAL BUILDING (HEIGHT- 18.00M) WITH 42 DWELLING UNITS(AFFORDABLE HOUSING) AT VASANTHAPURAM MAIN ROAD, MANGADU, CHENNAI COMPRISED IN OLDS.NO.273/10, NEW S.NO.473/10A,473/11,473/12 & 474/1A (AS PER DOCUMENT) AND S.NO.473/10A2, 473/11B, 473/12B & 474/1A2(AS PER PATTI) OF MANGADU-B VILLAGE WITHIN THE LIMITS OF MANGADU MUNICIPALITY.

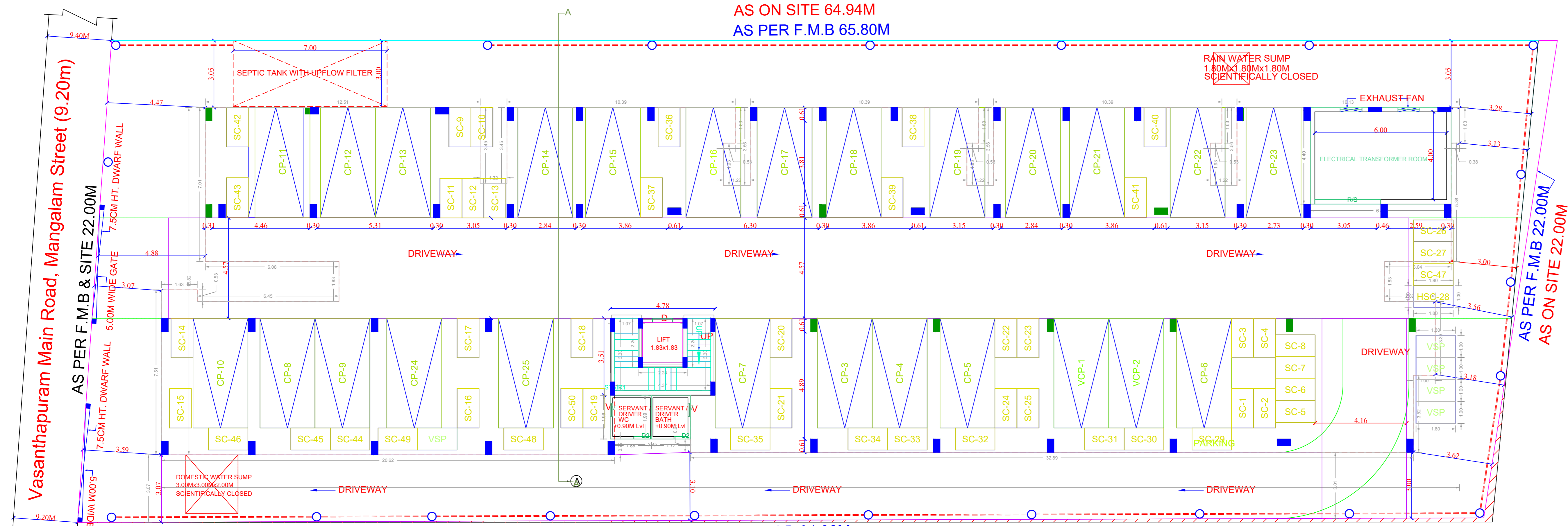
A) AREA STATEMENT	SQ.M.
AREA AS PER PATTI	1412.00
AREA AS PER DOCUMENT	1416.40
AREA CONSIDERED FOR FSI	1412.00
STREET ALIGNMENT/ ROAD WIDENING/LINK ROAD	0.00
OSR AREA	0.00
TOTAL FSI AREA	3668.39
FSI FACTOR	2.598
COVERAGE AREA (PERCENTAGE %)	NA

A) PARKING STATEMENT	REQUIRED	PROVIDED
VEHICLE		
LORRY	0	0
CAR	25	25
TWO WHEELER	42	55
CYCLE	0	0



SITE PLAN

AS ON SITE 64.94M
AS PER F.M.B 65.80M



STILT PARKING FLOOR PLAN

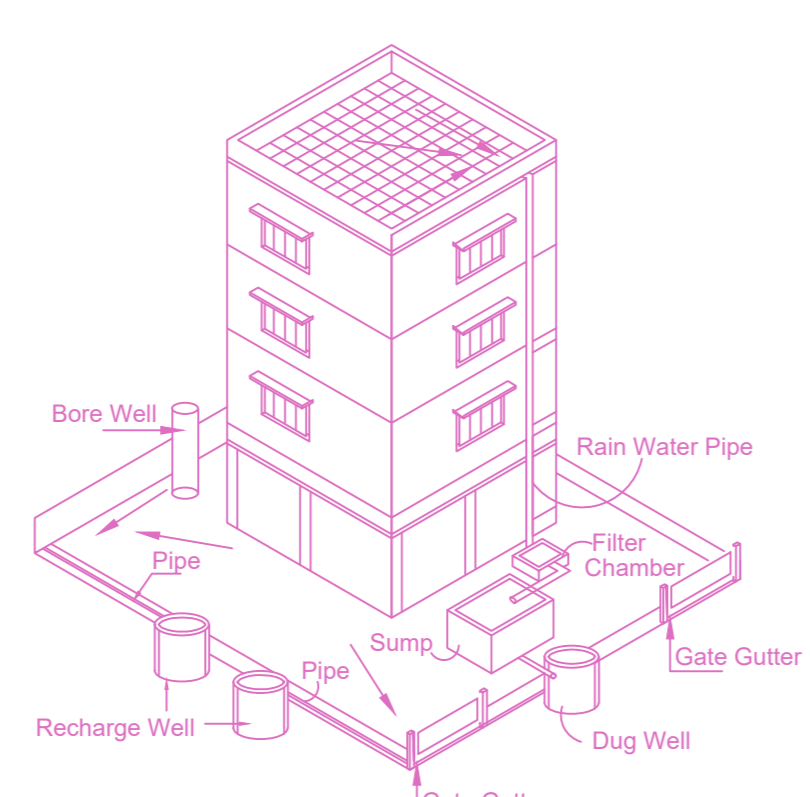
AS PER F.M.B 64.00M
AS ON SITE 64.38M

FLOOR WISE FSI STATEMENT: BLOCK (RESI)

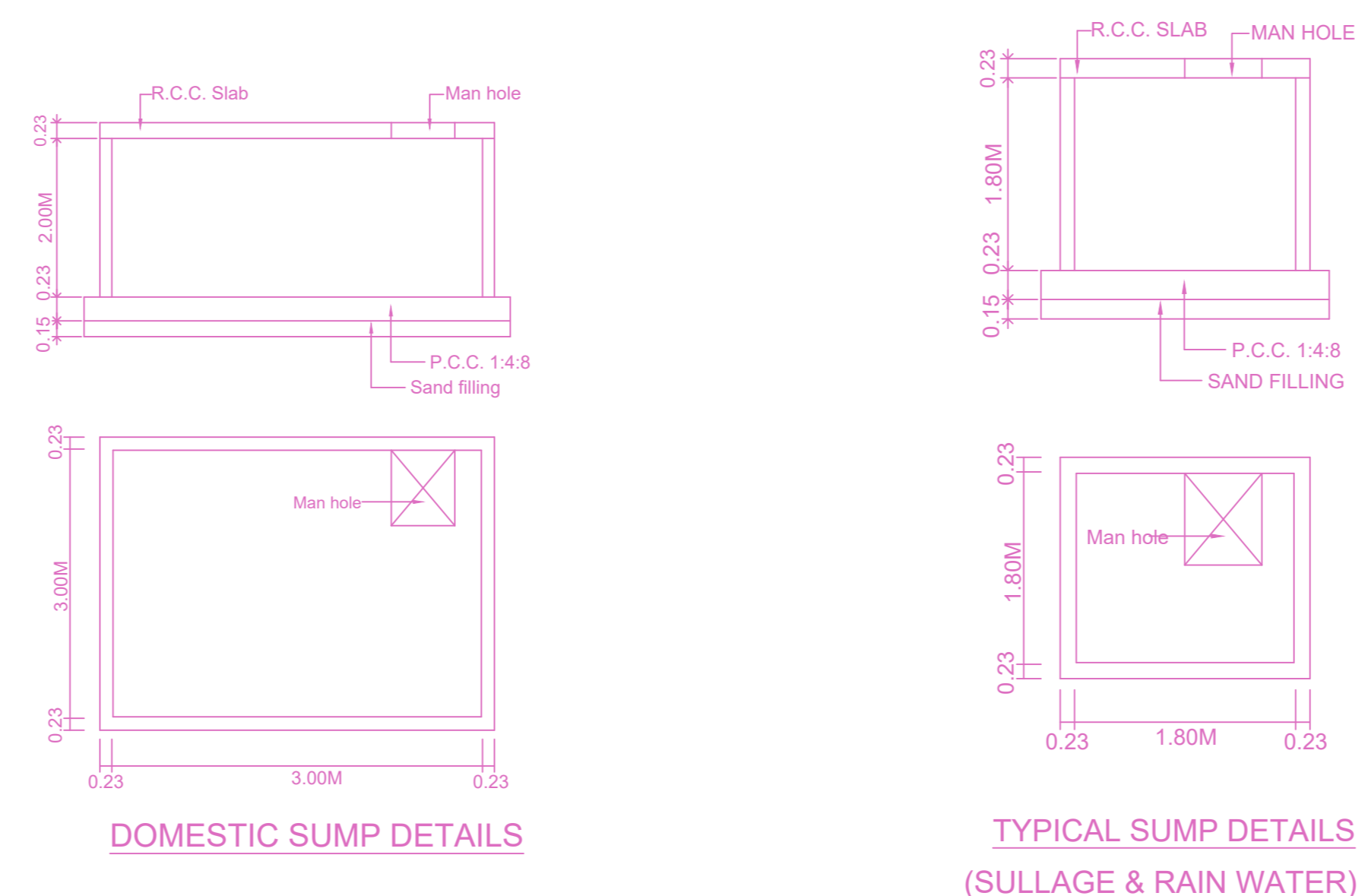
FLOORS	FSI AREA				DU	TOTAL FSI AREA
	COMM.	RESI.	IND.	INST.		
STILT PARKING FLOOR	0.00	28.16	0.00	0.00	0	28.16
FIRST FLOOR	0.00	844.90	0.00	0.00	10	844.90
SECOND FLOOR	0.00	844.90	0.00	0.00	10	844.90
THIRD FLOOR	0.00	844.90	0.00	0.00	10	844.90
FOURTH FLOOR	0.00	844.90	0.00	0.00	10	844.90
FIFTH FLOOR	0.00	260.63	0.00	0.00	2	260.63
Terrace	0.00	0.00	0.00	0.00	0	0.00
Total	0.00	3668.39	0.00	0.00	42	3668.39

BUILDING WISE FSI STATEMENT

BUILDING	NO OF SAME BUILDINGS	FSI AREA				DU	TOTAL FSI AREA
		COMM.	RESI.	IND.	INST.		
BLOCK-1 (RESI)		0.00	3668.39	0.00	0.00	42	3668.39
Total		0.00	3668.39	0.00	0.00	42	3668.39



Proposed Rain Water Harvesting System Provided as per CBR Norms Drawing No:3A Not To Scale



DESIGN OF SEPTIC TANK WITH UPFLOW FILTER

TOTAL NO. OF FLATS OR DWELLINGS > 46
 ASSUMING 5 PERSONS FOR FLATS > 46x5=230
 NO. OF PERSONS > 230
 NO. OF USERS ASSUMING 2 FIXTURES PER FLAT > 230x2=460 UNITS.
 PER HOUR DISCHARGE > 460x6=2760 LPM.

SEPTIC TANK
 SURFACE AREA NEEDED > 2940x0.92/10 = 253.92 SAY 28.00M

VOLUME OF SEDIMENTATION
 ASSUMING 0.30M DEPTH
 26x0.33 = 7.38M³
 FOR DIGESTION
 0.0002x365x230 = 16.79M³
 FREE BOARD FOR SLUDGE
 10x0.3M = 3.00M³

DEPTH = $\frac{VOLUME}{AREA} = \frac{7}{14} = 1.40M$

SIZE OF SEPTIC TANK 7.00x3.00x3.00

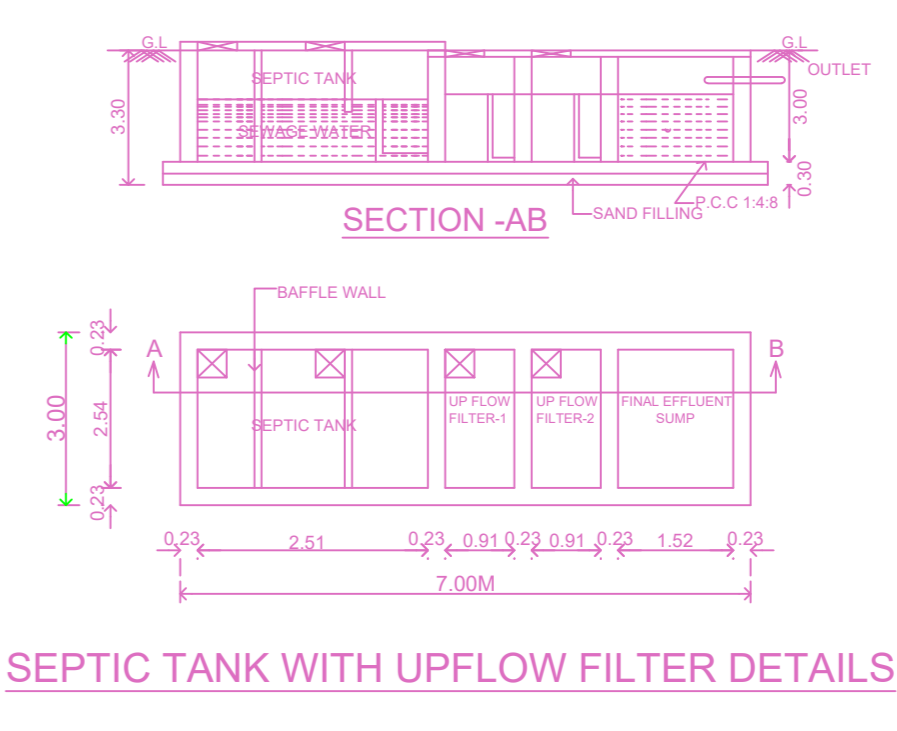
UPFLOW FILTER
 LIQUID DEPTH OF SEPTIC TANK = 3.00M

UPFLOW FILTER DEPTH ALLOWING 0.32M FREE BOARD 1.4 - 0.3 = 1.10M

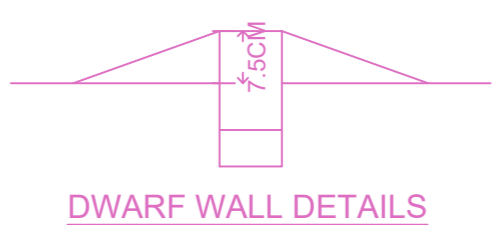
AREA NEEDED = $\frac{1.10}{1.10} = 1.0M$

SIZE OF UPFLOW FILTER 1.50x1.50

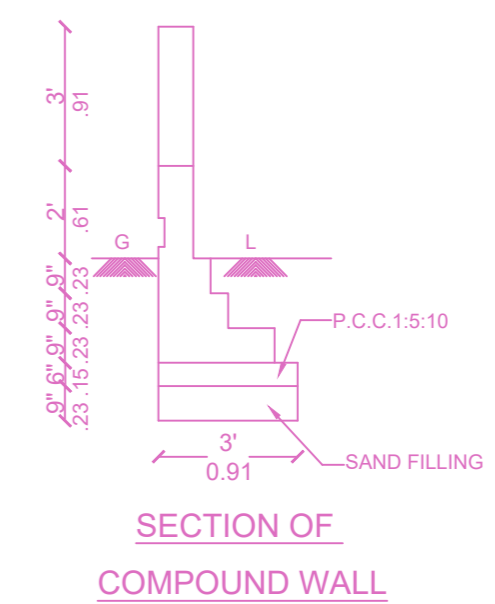
UPFLOW NO.-1 = 0.91x1.50x1.30M
 UPFLOW NO.-2 = 0.91x1.50x1.30M



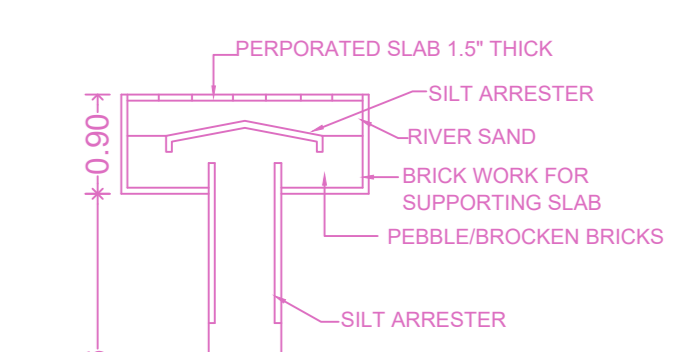
SEPTIC TANK WITH UPFLOW FILTER DETAILS



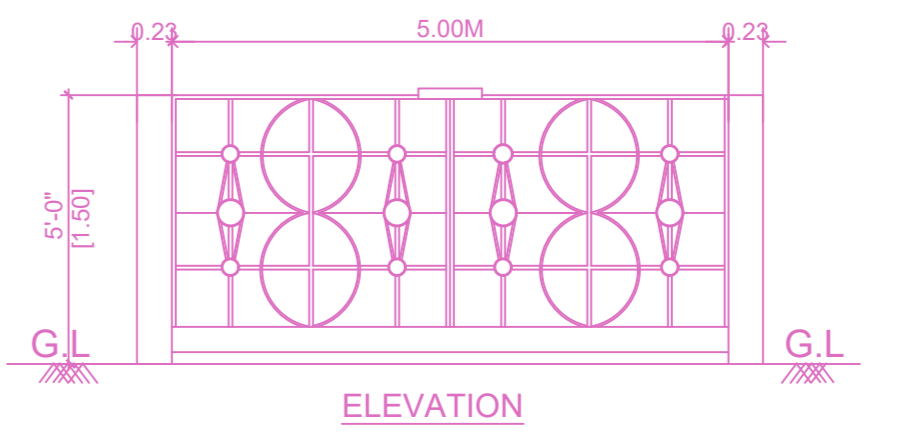
DWARF WALL DETAILS



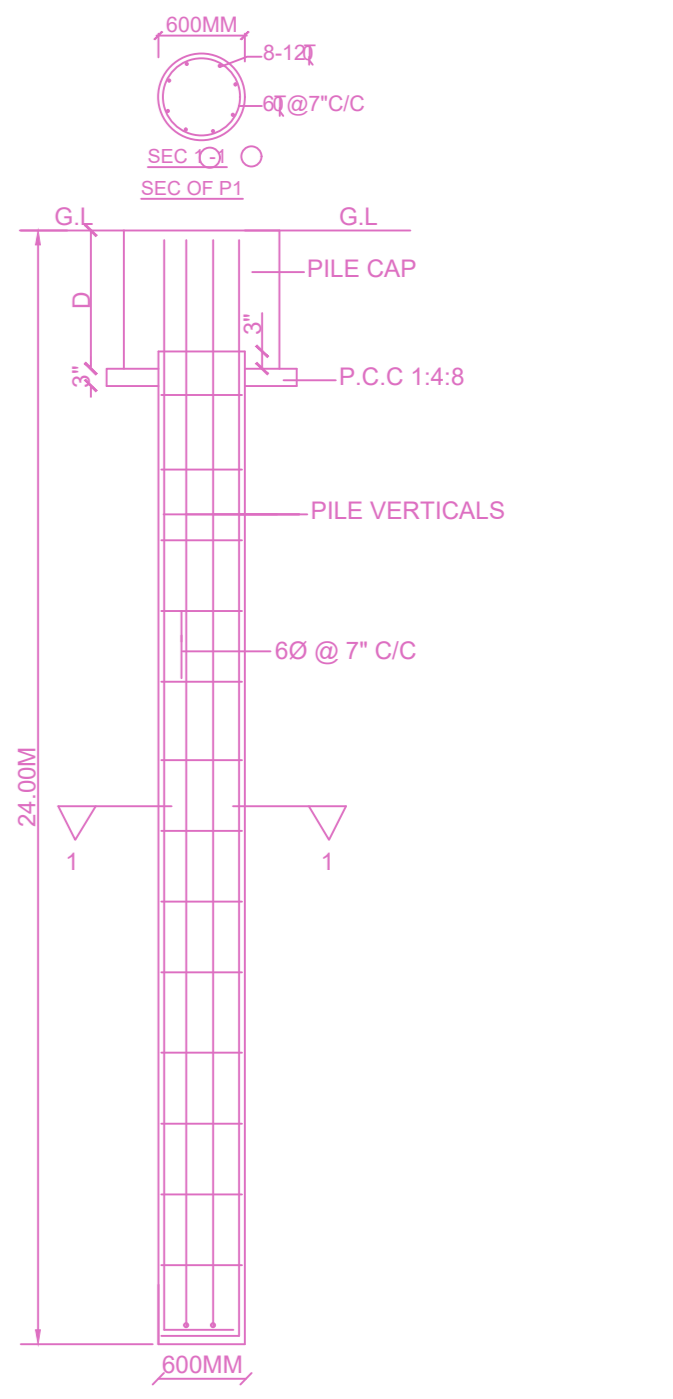
SECTION OF COMPOUND WALL



PERCOLATION PIT



ELEVATION



PILE FOUNDATION

APPROVAL CONDITION

FOR DEPUTY PLANNER
 FOR CHIEF PLANNER
 FOR MEMBER SECRETARY

CHENNAI METROPOLITAN DEVELOPMENT AUTHORITY

APPROVED
 SUBJECT TO THE CONDITIONS MENTIONED IN THIS OFFICE

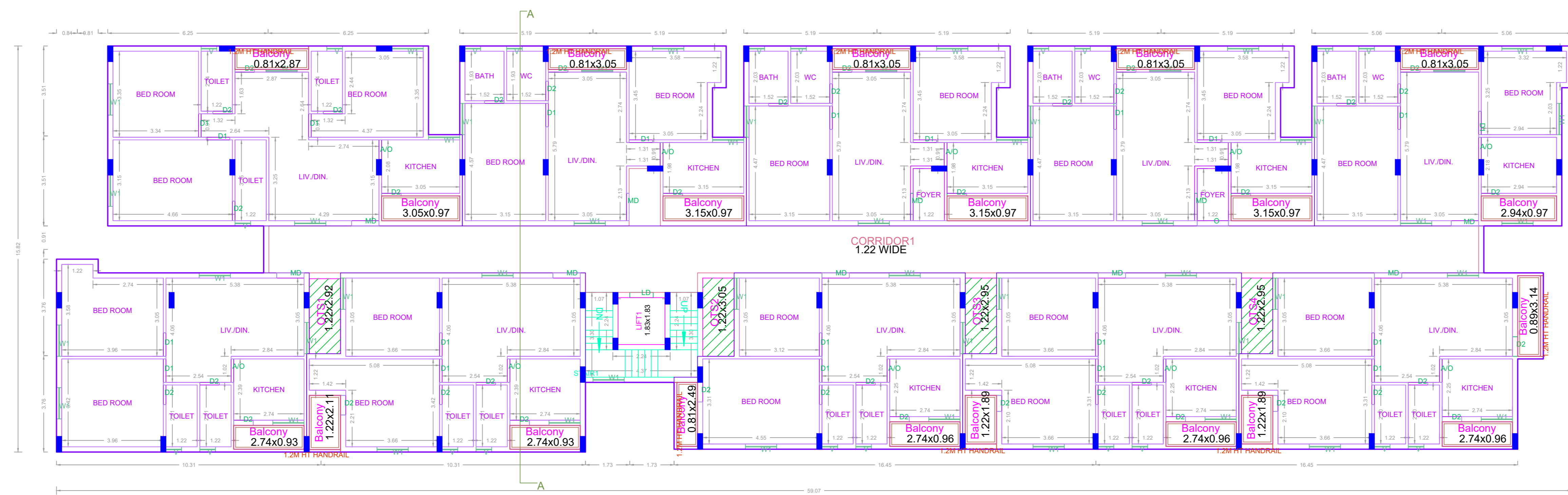
SCALE 1:100

This Planning Permission issued under New Rule TNCDBR, 2019 is subject to final outcome of the W.P. (MD) No.8948 of 2019 and WMP (MD) Nos. 6912 & 6913 of 2019.

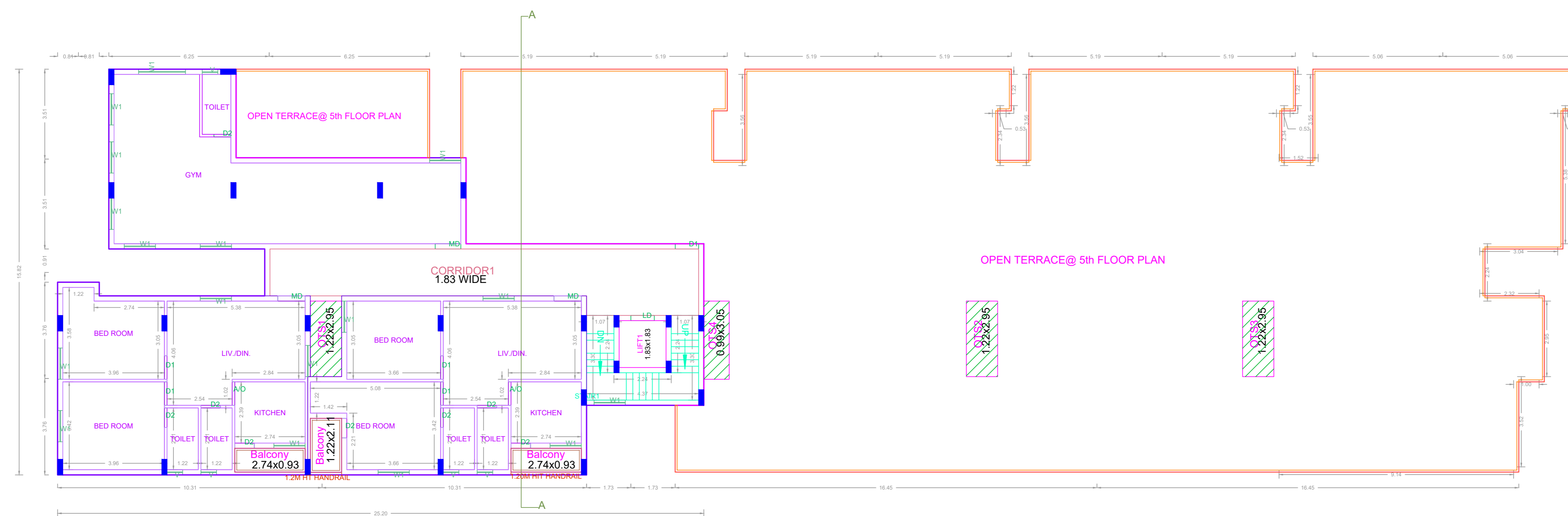
For (Deputy Planner / Chief Planner / Member-Secretary)
 High Rise Building / Non High Rise Building
 This Approval is valid only after building Permit is issued by the concerned Local Body.

QR CODE

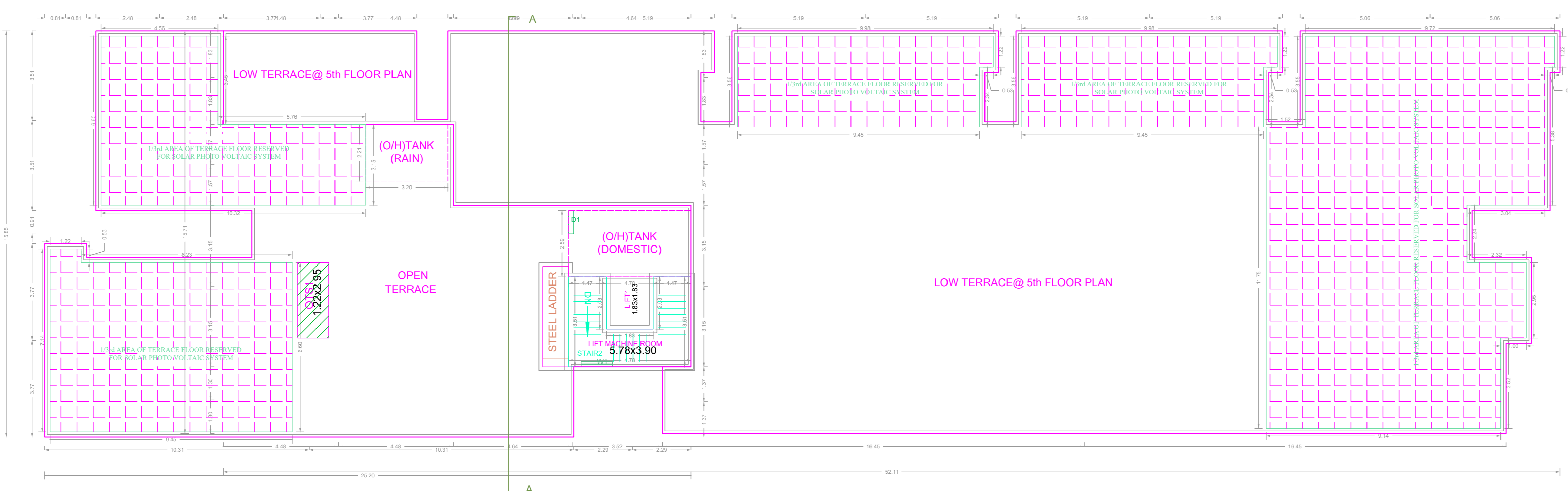
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TYPICAL - 1- 4 FLOOR PLAN



FIFTH FLOOR PLAN(PART)



TERRACE FLOOR PLAN

APPROVAL CONDITION

DOB: 04/08/2019

PREP. FILE NO. / PREP. DATE / PREP. INTM. / PREP. DRAWING NO.

SCALE 1:100

CHENNAI METROPOLITAN DEVELOPMENT AUTHORITY

APPROVED

SUBJECT TO THE CONDITIONS MENTIONED IN THIS OFFICE

PREP. FILE NO. / PREP. DATE / PREP. INTM. / PREP. DRAWING NO.

DOB: 04/08/2019

For (Deputy Planner / Chief Planner / Member-Secretary)
High Rise Building / Non High Rise Building
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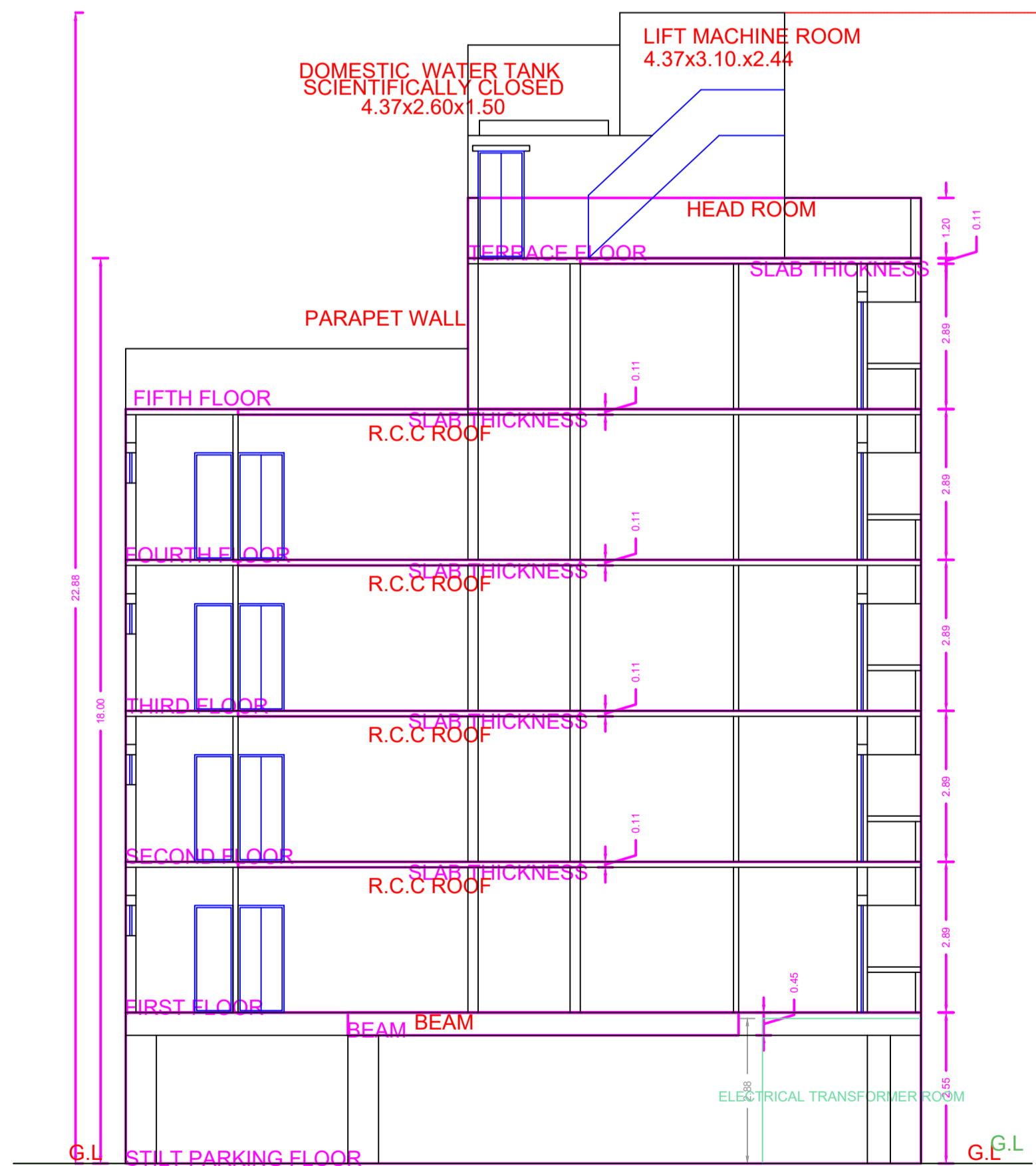
QR CODE

Character-1	Character-2	Character-3	Character-4	Character-5	Character-6	Character-7	Character-8	Character-9	Character-10	Character-11	Character-12	Character-13	Character-14	Character-15	Character-16	Character-17	Character-18	Character-19	Character-20	Character-21	Character-22	Character-23	Character-24	Character-25	Character-26	Character-27	Character-28	Character-29	Character-30	Character-31	Character-32	Character-33	Character-34	Character-35	Character-36	Character-37	Character-38	Character-39	Character-40	Character-41	Character-42
Applicants (Owner / Developer / Power of Attorney)																																									

FLOOR NAME	SHEET NO. 3 / 2
FLOOR NAME	
PLAN SHOWING THE PROPOSED CONSTRUCTION OF STILT FLOOR + 4 FLOORS + 5TH FLOOR PART (RESIDENCE & GYM) RESIDENTIAL BUILDING (HEIGHT- 18.00M) WITH 42 DWELLING UNITS(AFFORDABLE HOUSING) AT VASANTHAPURAM MAIN ROAD, MANGADU, CHENNAI COMPRISED IN OLDS.NO.273/10, NEW S.NO.473/10A,473/11,473/12 & 474/1A (AS PER DOCUMENT) AND S.NO.473/10A2, 473/11B, 473/12B & 474/1A2(AS PER PATT) OF MANGADU-B VILLAGE WITHIN THE LIMITS OF MANGADU MUNICIPALITY.	



ELEVATION



SECTION ON A-A

APPROVAL CONDITION	
PREP. FILE NO. PREP. ATTY. DATE PREP. ATTY. NO. PREP. PERM. NO.	
SCALE 1:100	
CHENNAI METROPOLITAN DEVELOPMENT AUTHORITY APPROVED SUBJECT TO THE CONDITIONS MENTIONED IN THIS OFFICE	
FILE NO. DATE	PLAN, PERM. NO. PERMIT. NO.
STRUC. SIGN	ARCH. SIGN
For (Deputy Planner / Chief Planner / Member-Secretary) High Rise Building / Non High Rise Building This Approval is valid only after building Permit is issued by the concerned Local Body.	
QR CODE	

Column 1	Column 2	Column 3	Column 4	Column 5	Column 6	Column 7	Column 8	Column 9	Column 10	Column 11	Column 12	Column 13	Column 14	Column 15	Column 16	Column 17	Column 18	Column 19	Column 20	Column 21	Column 22	Column 23	Column 24	Column 25	Column 26	Column 27	Column 28	Column 29	Column 30	Column 31	Column 32	Column 33	Column 34	Column 35	Column 36	Column 37	Column 38	Column 39	Column 40	Column 41	Column 42	Column 43	Column 44	Column 45	Column 46	Column 47	Column 48	Column 49	Column 50	Column 51	Column 52	Column 53	Column 54	Column 55	Column 56	Column 57	Column 58	Column 59	Column 60	Column 61	Column 62	Column 63	Column 64	Column 65	Column 66	Column 67	Column 68	Column 69	Column 70	Column 71	Column 72	Column 73	Column 74	Column 75	Column 76	Column 77	Column 78	Column 79	Column 80	Column 81	Column 82	Column 83	Column 84	Column 85	Column 86	Column 87	Column 88	Column 89	Column 90	Column 91	Column 92	Column 93	Column 94	Column 95	Column 96	Column 97	Column 98	Column 99	Column 100
Applicants (Owner / Developer / Power of Attorney)																				STRUC. ENG. SIGN		ARCH. SIGN																																																																													